

BOARD OF SUPERVISORSDistrict 1 | **Kirsten Running-Marquardt**District 2 | **Ben Rogers**District 3 | **Louis J. Zumbach****JEAN OXLEY LINN COUNTY PUBLIC SERVICE CENTER**

935 2ND ST. SW

CEDAR RAPIDS, IA 52404

PH: 319-892-5000

LinnCountyIowa.gov

**LINN COUNTY BOARD OF SUPERVISORS
MEETING AGENDA**

Monday, February 13, 2023

10 a.m.

Formal Board Room—Jean Oxley Public Service Center
935 2nd St. SW, Cedar Rapids, IA**Call to Order****Public Comment: Five Minute Limit per Speaker**

This comment period is for the public to address topics on today's agenda.

Minutes

Discuss and decide on meeting minutes.

Discuss a Preliminary Plat Application for a 116.39-acre area of the Dows Farm property, located in the 600 Block of Dows Rd and the 6900 Block of Mount Vernon Rd SE

Discuss a Vacancy Form requesting an Accounting Manager for the Auditor's office

Discuss an updated Resolution Approving Compensation for Attorneys Appointed by the District Court.

Public Comment: Five Minute Limit per Speaker

This is an opportunity for the public to address the board on any subject pertaining to board business.

Payroll Authorizations

Discuss and decide on Employment Change Roster (payroll authorizations).

Claims

Discuss and decide on claims.

Legislative Update

Discuss and decide on action related to proposed legislation

Correspondence**Appointments****Closed Session**

The Board will enter into a closed session to discuss pending litigation, pursuant to Code of Iowa 21.5(1)(c).

Adjournment

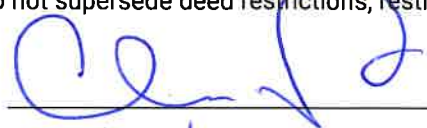
For questions about meeting accessibility or to request accommodations to attend or to participate in a meeting due to a disability, please contact the Board of Supervisors office at 319-892-5000 or at bd-supervisors@linncountyiowa.gov.



Zoning Division

Preliminary Plat Application

Page 1 of 8

Owner Information:		Applicant Information:	
Owner	Linn County, Iowa	Applicant	Dows Agri Community Development, LLC
Address	935 2nd Street SW	Address	PO Box 99
	Cedar Rapids Iowa 52404		Mount Vernon Iowa 52314
Phone		Phone	(319) 640-1858
Surveying Co	Hall & Hall Engineers, Inc.	E-Mail	brian@halleng.com
Engineer:	Brian Vogel, P.E.	Phone	319-362-9548
Property Information: 6900 Block Mt Vernon Road SE			
Property Address or Address Range (block)			
Brief legal(s) (Sec./Twp./Range) Parcel A, Plat of Survey No. 2531			
GPN(s) 152042600300000			
Rural Land Use Map Designation	MUSA	Proposed Plat Name	Dows Farm Agri-Community Addition
Current Zoning	PUD-USR	Total Acres	181 Acres
Proposed Zoning	PUD-USR	Number of Lots	249 Lots
Associated Zoning Cases			
Submittal Requirements: Application, Fee, Preliminary Plat Drawing			
The undersigned is/are the owner(s) of the described property on this application, located in the unincorporated area of Linn County, Iowa, assuring that the information provided herein is true and correct. I hereby give my consent for the office of Linn County Planning and Development to conduct a site visit and photograph the subject property. This development is subject to and shall be required, as a condition of final development approval, to comply with all Unified Development Code policies, requirements, and standards that are in effect at the time of final development approval. Development proposals approved by the Linn County Board of Supervisors do not supersede deed restrictions, restrictive covenants, or rules adopted by a homeowners' association.			
Owner		Applicant	
Date		Date	1/16/23
Case #	JP23-0001	Date Received	
Receipt#			

PRELIMINARY PLAT
FOR
DOWS FARM AGRI-COMMUNITY
IN LINN COUNTY, IOWA

UTILITY LEGEND-EXISTING

(SSS)	SANITARY SEWER W/SIZE
(STS)	STORM SEWER W/SIZE
(FMS)	FORCE MAIN W/SIZE
(WS)	WATER MAIN W/SIZE
(C)	GAS
(S)	STEAM
(CHE)	ELECTRIC-OVERHEAD
(E)	ELECTRIC-UNDERGROUND
(C)	CABLE TV-UNDERGROUND
(CHC)	CABLE TV-OVERHEAD
(CHT)	TELEPHONE-OVERHEAD
(F)	FIBER OPTIC-UNDERGROUND
(T)	TELEPHONE-UNDERGROUND
(FP)	FENCE LINE
(FW)	FLOODPLAIN LIMITS
(COP)	FLOODWAY LIMITS
(COP)	CITY CORPORATE LIMITS
(800)	CONTOUR LINE
	LIGHT POLE W/O MAST
	LIGHT POLE W/MAST
	TELEPHONE POLE
	POWER POLE
	GUY ANCHOR
	GUY POLE
	TELEPHONE PEDESTAL
	TELEPHONE MANHOLE
	CABLE TV PEDESTAL
	UTILITY/CONTROL CABINET
	SANITARY MANHOLE
	STORM MANHOLE
	GRATE INTAKE
	RA-3 INTAKE
	RA-5 INTAKE
	RA-6 INTAKE
	RA-8 INTAKE
	HORSESHOE CATCH BASIN W/O FLUME
	HORSESHOE CATCH BASIN W/FLUME
	GAS VALVE
	FLARED END SECTION
	CLEANOUT, STORM OR SANITARY
	TRAFFIC SIGNAL W/MAST
	BOLLARD
	BENCHMARK
	STREET SIGN
	WELL
	FIRE HYDRANT

UTILITY LEGEND-PROPOSED

SSS	SANITARY SEWER W/SIZE
STS	STORM SEWER W/SIZE
FMS	FORCE MAIN W/SIZE
W12	WATER MAIN W/SIZE
CORP	CITY CORPORATE LIMITS
	SANITARY MANHOLE
	STORM MANHOLE
	GRATE INTAKE
	RA-3 INTAKE
	RA-5 INTAKE
	RA-6 INTAKE
	RA-8 INTAKE
	HORSESHOE CATCH BASIN W/O FLUME
	FLARED END SECTION
	CLEANOUT, STORM OR SANITARY
	FIRE HYDRANT
	WATER VALVE
	WATER SHUTOFF
	WATER BLOWOFF

SURVEY LEGEND

SET	REBAR W/CAP NO.
	FOUND SURVEY MONUMENT AS NOTED
	FOUND RIGHT OF WAY RAIL
	SECTION CORNER SET AS NOTED
	SECTION CORNER FOUND AS NOTED
	CUT "X" IN CONCRETE
	RECORDED AS
	EASEMENT LINE
	PLAT OR SURVEY BOUNDARY
	PLAT LOT LINE
	CENTERLINE
	SECTION LINE
	1/4 SECTION LINE
	1/4-1/4 SECTION LINE
	EXISTING LOT LINE
	BUILDING SETBACK LINE

PLANT LEGEND

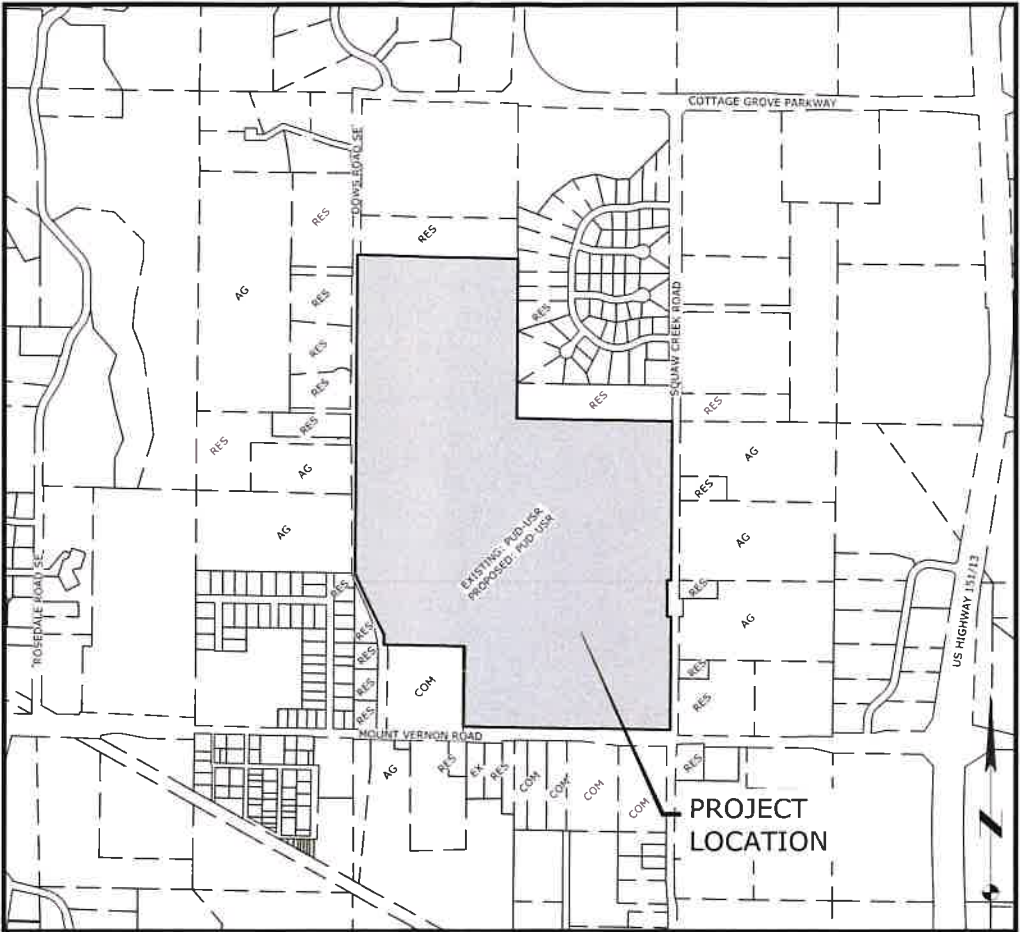
	DECIDUOUS TREE
	CONIFEROUS TREE
	DECIDUOUS SHRUB
	CONIFEROUS SHRUB
	TREE STUMP
	TREE LINE DRIP EDGE

NOTE: THIS IS A STANDARD LEGEND. SOME ITEMS MAY NOT APPEAR ON DRAWINGS.

STREET CLASSIFICATIONS

DESIGN DATA - URBAN					
STREET	CLASSIFICATION	STREET WIDTH	R.O.W. WIDTH	DESIGN SPEED	PAVEMENT THICKNESS
MT VERNON ROAD SE	ARTERIAL	44'	120'-145'	50 MPH	8" PCC
DOWS ROAD SE	LOCAL	24'	66'	40 MPH	7" PCC
SQUAW CREEK ROAD	LOCAL	21'	66'	40 MPH	7" PCC

LOCATION MAP
(1"=800')



SHEET INDEX

- COVER
- TYPICAL SECTIONS
- LOT REQUIREMENTS AND LAYOUT
- OVERALL PRELIMINARY PLAT
- PRELIMINARY PLAT
- PRELIMINARY PLAT
- PRELIMINARY PLAT
- PRELIMINARY PLAT

TITLEHOLDER:

LINN COUNTY IOWA
935 2ND ST SW
CEDAR RAPIDS, IA 52404

APPLICANT:

DOWS AGRI COMMUNITY DEVELOPMENT LLC
% CHAD PELLEY
PO BOX 99
MT VERNON, IA 52334
PH: 319-640-1858
CHADPE@TWENTY40CONCEPTS.COM

PROPERTY ADDRESS

6900 BLOCK MT VERNON ROAD
CEDAR RAPIDS, IA 52403

ZONING

EXISTING: PUD-USR (PLANNED URBAN DEVELOPMENT)
PROPOSED: NO CHANGE

USE:

EXISTING: AGRICULTURE
PROPOSED: AGRI-COMMUNITY WITH A MIXTURE OF RESIDENTIAL (SINGLE FAMILY AND MULTI-FAMILY), COMMERCIAL/RETAIL, FARMING AND RECREATION

SIGNAGE:

DETAILED SIGNAGE PLANS WILL BE PROVIDED IN THE FUTURE WITH THE DETAILED PLAN OF IMPROVEMENT DESIGN DRAWINGS. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE APPROVED GOVERNING PLAN FOR DOWS FARM AGRI-COMMUNITY AND MUST BE REVIEWED AND APPROVED BY THE DOWS FARM DESIGN REVIEW BOARD PRIOR TO APPROVAL BY LINN COUNTY.

LIGHTING:

DETAILED LIGHTING AND PHOTOMETRIC PLANS WILL BE PROVIDED IN THE FUTURE WITH THE DETAILED PLAN OF IMPROVEMENT DESIGN DRAWINGS. ALL STREET AND PARKING LOT LIGHTS SHALL BE IN ACCORDANCE WITH THE APPROVED GOVERNING PLAN FOR DOWS FARM AGRI-COMMUNITY AND MUST BE REVIEWED AND APPROVED BY THE DOWS FARM DESIGN REVIEW BOARD PRIOR TO APPROVAL BY LINN COUNTY.

PUBLIC ART:

PUBLIC ART IS REQUIRED FOR THIS DEVELOPMENT. PUBLIC ART DETAILS AND PLANS WILL BE DEVELOPED WITH THE DETAILED PLAN OF IMPROVEMENT DESIGN DRAWINGS. ALL PUBLIC ART WILL BE IN ACCORDANCE WITH THE APPROVED GOVERNING PLAN FOR DOWS FARM AGRI-COMMUNITY AND MUST BE REVIEWED AND APPROVED BY THE DOWS FARM DESIGN REVIEW BOARD PRIOR TO APPROVAL BY LINN COUNTY.

MAILBOXES

ALL RESIDENTIAL AND COMMERCIAL LOTS SHALL HAVE MAILBOXES IN CLUSTERS. THE EXACT NUMBER AND LOCATIONS OF THE MAILBOX CLUSTERS WILL BE PER THE POST MASTER'S RECOMMENDATIONS AND REQUIREMENTS. MAILBOX CLUSTERS WILL BE SHOWN ON THE DETAILED PLAN OF IMPROVEMENT DESIGN DRAWINGS.

SITE CHARACTERISTICS

SINGLE FAMILY:	153 LOTS
MULTI-FAMILY:	57 LOTS
COMMERCIAL/RETAIL:	13 LOTS
NUMBERED LOTS:	223 LOTS
LETTERED LOTS:	18 LOTS
LETTERED OUTLOTS:	3 LOTS
TOTAL NUMBER OF LOTS:	244 LOTS
TOTAL DWELLING UNITS:	251 UNITS (MAX. ALLOWED PER GOVERNING PLAN)

PARKING TOTALS PROVIDED

ON-STREET PARKING:	175 PARKING SPACES*
OFF-STREET PARKING:	141 PARKING SPACES
*ADDITIONAL ON-STREET PARKING AVAILABLE ON GRANULAR SHOULDERS FOUND THROUGHOUT THE SITE	

LANDSCAPING REQUIREMENTS

EACH SINGLE FAMILY LOT REQUIRES 3 TREES (2 SHADE AND 1 ORNAMENTAL). NO MORE THAN 2 OF THE 3 TREES CAN BE OF THE SAME SPECIES. ALL TREES MUST BE SELECTED FROM THE PRE-APPROVED TREE SPECIES LIST IN THE APPROVED GOVERNING PLAN FOR DOWS FARM AGRI-COMMUNITY.

ALL PRIVATE AND PUBLIC STREET TREES AND TREES FOR ALL PUBLIC SPACES SHALL BE IN GENERAL ACCORDANCE WITH THE MASTER PLANTING PLAN AND AS APPROVED BY THE DOWS FARM DESIGN REVIEW BOARD.

50% OF ALL PLANTINGS MUST BE NATIVE TO CENTRAL IOWA.

DETAILED LANDSCAPING PLANS WILL BE PROVIDED IN THE FUTURE WITH THE DETAILED PLAN OF IMPROVEMENT DESIGN DRAWINGS.

STORM WATER MANAGEMENT:

ALL STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH THE SUDAS DESIGN STANDARDS WHILE IMPLEMENTING LOW IMPACT DEVELOPMENT TECHNIQUES WHEN POSSIBLE. DETAILED STORM WATER MANAGEMENT DESIGN AND CALCULATIONS TO BE SUBMITTED WITH THE DETAILED PLAN OF IMPROVEMENT DESIGN DRAWINGS.

PUBLIC SPACE

VARIOUS PUBLIC OPEN SPACE/AMENITIES AREAS ARE LOCATED THROUGHOUT THE SITE TO PROMOTE A HEALTHY PHYSICAL MENTAL LIFESTYLE. SEE SHEET 4 FOR THE TYPE AND LOCATION OF THE REQUIRED PUBLIC SPACES.

NOTES

THIS PLAN IS CONCEPTUAL REPRESENTATION OF THE PROPOSED DEVELOPMENT. ANY FINAL PLAT AND RELATED IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT SHALL MEET THE REQUIREMENTS OF SUDAS DESIGN STANDARDS MANUAL AND THE PREVIOUSLY APPROVED GOVERNING PLAN FOR DOWS FARM AGRI-COMMUNITY.

LEGAL DESCRIPTION

PARCEL A AND PARCEL B, AMENDED PLAT OF SURVEY NO. 2474 AS RECORDED IN BOOK 10813, PAGES 248-249 IN THE OFFICE OF THE LINN COUNTY RECORDER

DESIGN EXCEPTIONS

NONE - SITE MEETS ALL REQUIREMENTS SET IN APPROVED PUD DOWS FARM AGRI-COMMUNITY GOVERNING PLAN



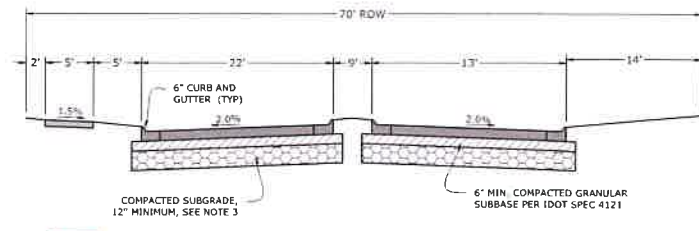
Contact Person	BRIAN VOGEL
Telephone Number	(319) 362-9548
Fax Number	(319) 362-7595
E-Mail Address	brain@halleng.com
Mailing Address	1860 Boyson Rd Hiawatha, IA 52233
Date Submitted	3/17/2021
Date Revised	01/18/2023



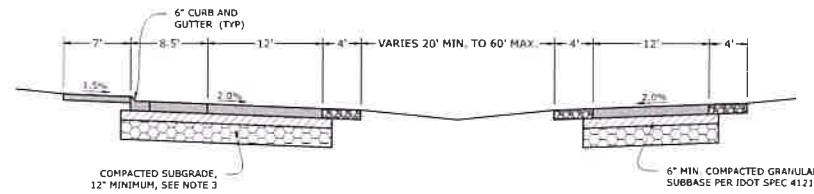
CITY FILE NUMBER:
HALL AND HALL PROJECT NUMBER: 10803-22-1

PRELIMINARY PLAT
FOR
DOWS FARM AGRI-COMMUNITY
IN LINN COUNTY, IOWA

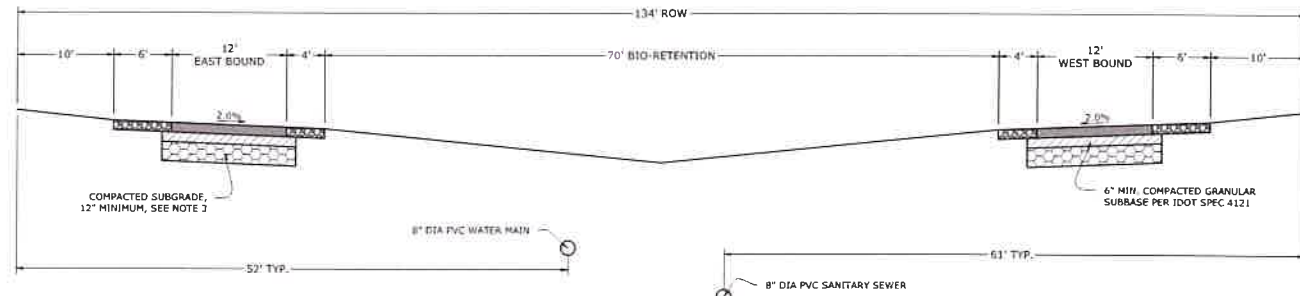
Designed by:	BDV
Drawn by:	CJZ
Checked by:	BDV
Date:	01/18/2023
Field Book No:	
Scale:	
Sheet:	1 of 8
Project Number:	10803-22-1



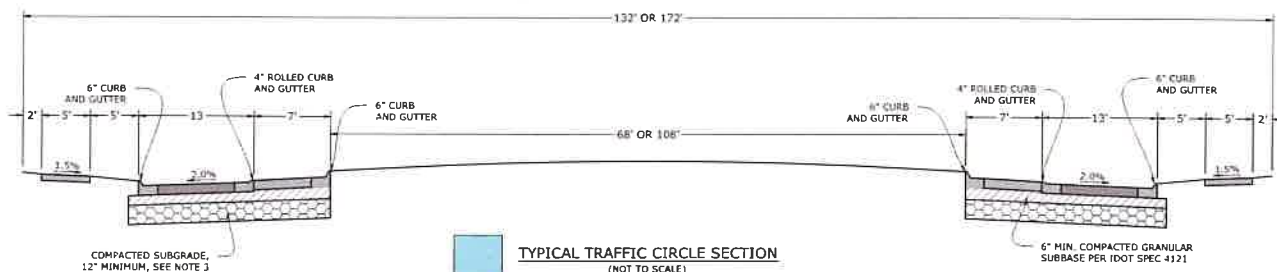
ENTRY DRIVE AT MOUNT VERNON ROAD INTERSECTION SECTION
(NOT TO SCALE)



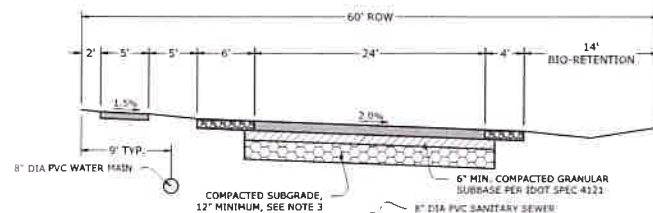
TYPICAL ENTRY PARKWAY SECTION
(NOT TO SCALE)



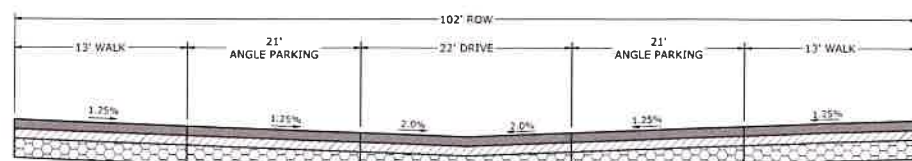
TYPICAL CENTRAL PARKWAY SECTION
(NOT TO SCALE)



TYPICAL TRAFFIC CIRCLE SECTION
(NOT TO SCALE)

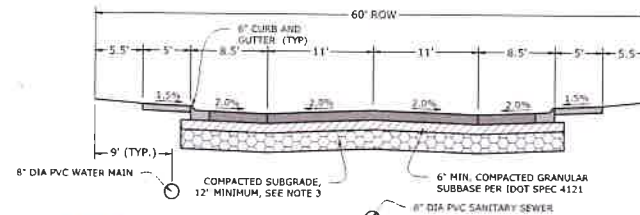


TYPICAL NEIGHBORHOOD GREEN LANE SECTION
(NOT TO SCALE)

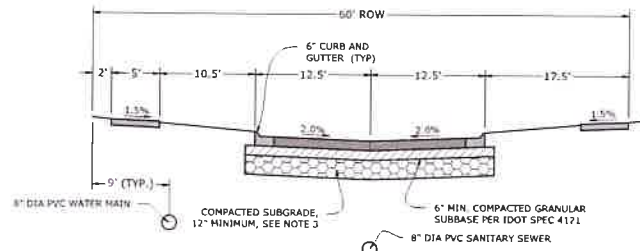


NO CURB AND GUTTER. CONTROL VEHICLES WITH BOLLARDS AND PLANTERS

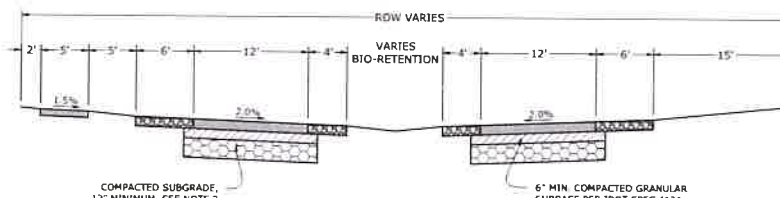
VILLAGE MAIN SECTION
(NOT TO SCALE)



TYPICAL PARALLEL PARKING SECTION (BOTH SIDES)
(NOT TO SCALE)



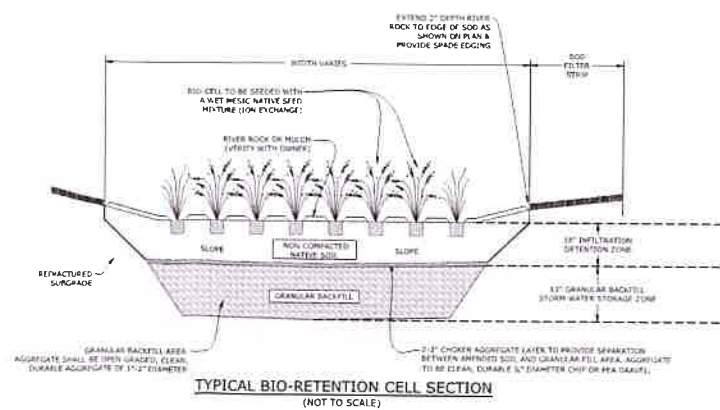
TYPICAL PARALLEL PARKING SECTION (ONE SIDE)
(NOT TO SCALE)



TYPICAL NEIGHBORHOOD SECTION (NO PARKING)
(NOT TO SCALE)

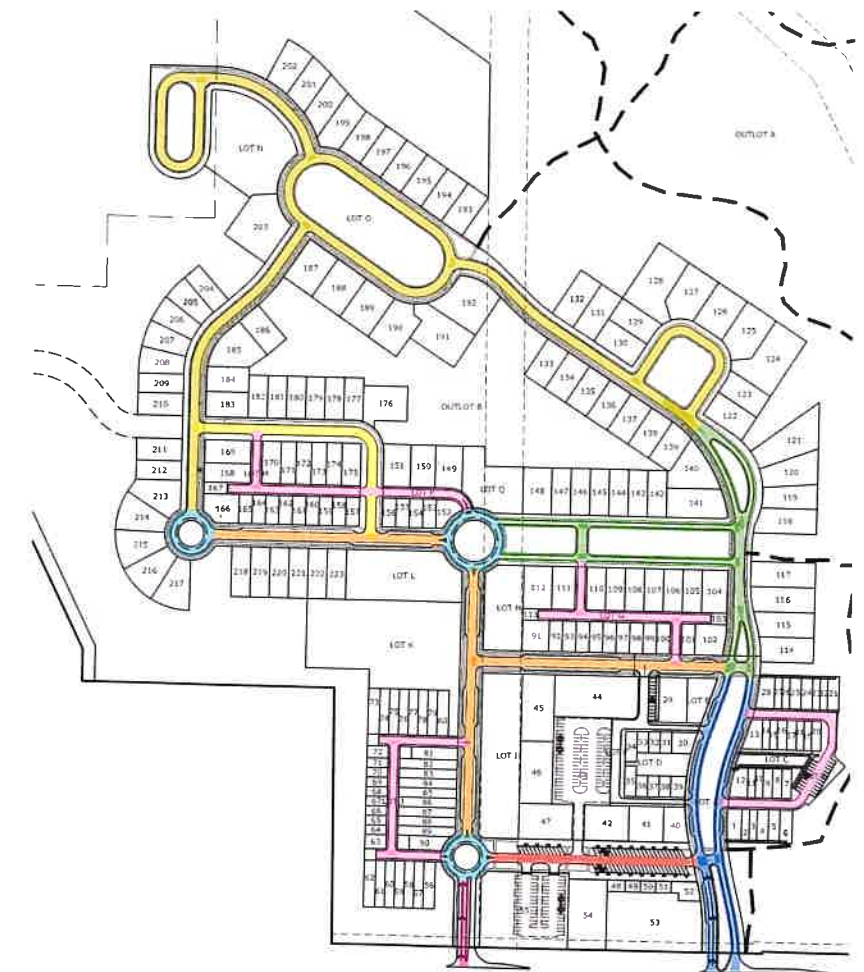


TYPICAL NEIGHBORHOOD PARKWAY SECTION
(NOT TO SCALE)



TYPICAL BIO-RETENTION CELL SECTION
(NOT TO SCALE)

- NOTES:**
1. INTEGRAL CURBING SHALL BE 6" STANDARD INTEGRAL CURB, UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO THE BACK OF CURB.
 3. ALL PAVING TO BE 7" THICK PCC.
 4. ALL SIDEWALKS, PARKING LOTS AND ALLEYS TO BE PRIVATELY MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 5. SPEED LIMIT FOR ALL PROPOSED ROADS TO BE POSTED AT 20 MPH.
 6. ALL BIO-CELLS AND DETENTION AREAS TO BE PRIVATELY MAINTAINED BY THE HOME OWNERS ASSOCIATION.



COMMERCIAL/RETAIL (0 D.U.) (11 LOTS)

LOT 53 (LAWN)

LOT 52 (SHEDS)

MAXIMUM BUILDING WIDTH: 24 FEET
MAXIMUM BUILDING DEPTH: 32 FEET
MINIMUM STREET FACADE SETBACK FROM FACE OF CURB/PROPERTY LINE: 16 FEET
MAXIMUM STREET FACADE SETBACK: 36 FEET
MINIMUM SIDE YARD SETBACKS: 10 FEET
MINIMUM REAR YARD SETBACK: 10 FEET
MINIMUM PARKWAY TREES PLANTED: AVERAGE OF 1 - 2" CAL TREE PER 15 FEET OF COVERAGE

LOTS 48-51 (SHEDS)

MAXIMUM BUILDING WIDTH: 12 FEET
MAXIMUM BUILDING DEPTH: 24 FEET
MINIMUM STREET FACADE SETBACK FROM FACE OF CURB/PROPERTY LINE: 16 FEET
MAXIMUM STREET FACADE SETBACK: 26 FEET
MINIMUM SIDE YARD SETBACKS: 10 FEET
MINIMUM REAR YARD SETBACK: 10 FEET
MINIMUM PARKWAY TREES PLANTED: AVERAGE OF 1 TREE @ 2" CAL EVERY 25 LINEAL FT OF FRONTAGE

LOT 54 (BARN)

MAXIMUM BUILDING WIDTH: 60 FEET
MAXIMUM BUILDING HEIGHT: 50 FEET
MINIMUM STREET FACADE SETBACK FROM FACE OF CURB/PROPERTY LINE: 16 FEET
MAXIMUM STREET FACADE SETBACK: 26 FEET
MINIMUM SIDE YARD SETBACKS: 10 FEET
MINIMUM REAR YARD SETBACK: 10 FEET
MINIMUM PARKWAY TREES PLANTED: AVERAGE OF 1 TREE @ 2" CAL EVERY 25 LINEAL FT OF FRONTAGE

LOTS 40-42, 47 (MAIN STREET)

MAXIMUM BUILDING WIDTH: 40 FEET
MINIMUM STREET FACADE SETBACK FROM FACE OF CURB/PROPERTY LINE: 18 FEET
MAXIMUM STREET FACADE SETBACK FOR A MAXIMUM OF 50% OF THE TOTAL FACADE: 50 FEET (LOTS 9, 11, 12)
MAXIMUM STREET FACADE SETBACK: 50 FEET (LOT 10)
MINIMUM SIDE YARD SETBACKS: 10 FEET
MINIMUM REAR YARD SETBACK: 10 FEET
MINIMUM PARKWAY TREES PLANTED: AVERAGE OF 1 TREE @ 2" CAL EVERY 25 LINEAL FT OF FRONTAGE

MULTI-FAMILY (98 D.U.) (57 LOTS)

LOTS 44-46 (36-40 D.U.)

CENTER HALL APARTMENTS:
MAXIMUM BUILDING DEPTH: 60 FEET
MAXIMUM BUILDING WIDTH: 140 FEET
MINIMUM FRONT AND REAR SETBACK: 15 FEET
BUILDING TO BUILDING SETBACKS: 20 FEET
MINIMUM PATIO SIZE FOR 75% OF GROUND UNITS: 9x12 FEET
MINIMUM ENTRY TERRACE WITH SEATING: 9x16 FEET
MAXIMUM BUILDING HEIGHT: 2.5 FLOORS
MAXIMUM NUMBER OF DWELLING UNITS: 24
INTERNAL SURFACE PARKING LOT SHARED WITH COMMERCIAL USES

LAKE STREET APARTMENTS:

MAXIMUM BUILDING DEPTH: 50 FEET
MAXIMUM BUILDING WIDTH: 120 FEET
MINIMUM FRONT AND REAR SETBACK: 15 FEET
BUILDING TO BUILDING SETBACKS: 20 FEET
MINIMUM REAR PATIO: 9x12 FEET
MINIMUM ENTRY TERRACE WITH SEATING: 9x12 FEET
MAXIMUM BUILDING HEIGHT: 2.5 FLOORS
MAXIMUM NUMBER OF DWELLING UNITS: 18
PUBLIC PARALLEL STREET PARKING PLUS INTERNAL SURFACE PARKING LOT SHARED WITH COMMERCIAL USES

LOT 29 (5 D.U.)

LIVE/WORK TOWNHOMES:
MAXIMUM BUILDING DEPTH: 60 FEET
FIRST FLOOR SHALL BE USED FOR COMMERCIAL AND ONE RESIDENTIAL ADA COMPLIANT UNIT
ADDITIONAL FLOORS SHALL BE RESIDENTIAL USES

LOTS 1-28 (28 D.U.)

TUCK UNDER TOWNHOMES

MAXIMUM BUILDING DEPTH: 50 FEET
MAXIMUM PARKING SPACES PER DWELLING UNIT: 1.5
MINIMUM FRONT PORCH PER DWELLING UNIT: 9x12 FEET
MINIMUM PRIVATE REAR PATIO OR PORCH: 9x12 FEET

LOTS 56-62 AND 73-90 (25 D.U. WITH 4 OPTIONAL D.U.)

TOWNHOMES:

MINIMUM FRONT YARD PORCH SETBACK: 15 FEET
MINIMUM MAIN FACADE SETBACK: 25 FEET
MINIMUM SIDE AND REAR YARD SETBACKS: 10 FEET
MINIMUM FIRST FLOOR ELEVATION ABOVE SITE GRADE: 12 INCHES
ALLEY LOADED GARAGES
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM OF TWO FACING GABLES
END UNITS TO HAVE OPTION TO ADD THIRD GARAGE SPACE OR SECOND STORY CARRIAGE HOME OVER GARAGE

LIVE/WORK TOWNHOMES

MAXIMUM DEPTH OF BUILDING: 60 FEET
MINIMUM PARKING SPACES PER DWELLING UNIT: 1.5
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM PRIVATE REAR PATIO OR PORCH: 9x12 FEET

NOTES:

* DENOTES OPTIONAL ACCESSORY DWELLING UNIT CARRIAGE HOUSE.

LOT A TO BE DEDICATED TO LINN COUNTY AS PUBLIC R.O.W. AND WILL INCLUDE STORMWATER MANAGEMENT AND WILL BE MAINTAINED BY HOA.

LOT B IS FOR PUBLIC ACCESS, STORM SEWER, SANITARY SEWER AND WATER MAIN. PUBLIC ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY HOA.

STORM SEWER, SANITARY SEWER AND WATER MAIN TO BE PUBLIC.

LOT C IS FOR PEDESTRIAN ACCESS, STORM SEWER AND STORMWATER MANAGEMENT AND WILL BE PRIVATELY OWNED AND MAINTAINED BY HOA.

LOT D IS FOR PEDESTRIAN ACCESS, WATER MAIN, STORM SEWER AND SANITARY SEWER. PEDESTRIAN ACCESS AND STORM SEWER TO BE PRIVATELY OWNED AND MAINTAINED BY HOA. WATER MAIN AND SANITARY SEWER TO BE PUBLIC.

LOT E IS FOR STORMWATER MANAGEMENT TO BE PRIVATELY OWNED AND MAINTAINED BY HOA.

LOT F IS FOR PUBLIC ACCESS AND STORM SEWER TO BE PRIVATELY OWNED AND MAINTAINED BY HOA.

LOT G IS FOR PUBLIC ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.

LOT H IS FOR PEDESTRIAN ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.

LOT I IS FOR PEDESTRIAN ACCESS, STORM SEWER AND STORMWATER MANAGEMENT TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.

LOT J IS FOR PUBLIC ACCESS, STORM SEWER, SANITARY SEWER, WATER MAIN. PUBLIC ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY HOA.

STORM SEWER, SANITARY SEWER AND WATER MAIN TO BE PUBLIC.

LOT K IS FOR PEDESTRIAN ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.

LOT L IS FOR PEDESTRIAN ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.

LOT M IS FOR PUBLIC ACCESS AND STORM SEWER TO BE PRIVATELY OWNED AND MAINTAINED BY HOA.

LOT N IS FOR PEDESTRIAN ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.

LOT O TO BE DEDICATED TO LINN COUNTY AS PUBLIC R.O.W. AND WILL INCLUDE STORMWATER MANAGEMENT TO BE MAINTAINED BY HOA.

LOT P IS FOR PUBLIC ACCESS, STORM SEWER, SANITARY SEWER, WATER MAIN. PUBLIC ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY HOA.

STORM SEWER, SANITARY SEWER AND WATER MAIN TO BE PUBLIC.

LOT Q IS FOR PEDESTRIAN ACCESS TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.

LOT R TO BE DEDICATED TO LINN COUNTY AS PUBLIC R.O.W.

OUTLOT A TO CONTAIN STORMWATER MANAGEMENT AND BE OWNED AND MAINTAINED BY LINN COUNTY CONSERVATION

OUTLOT B TO OWNED AND MAINTAINED BY LINN COUNTY CONSERVATION

OUTLOT C TO CONTAIN STORMWATER MANAGEMENT AND BE OWNED AND MAINTAINED BY A SEPARATE FARM ENTITY

LOT 43 TO BE SHARED PARKING, SHARED ACCESS, STORM SEWER, SANITARY SEWER AND WATER MAIN TO BE PRIVATELY OWNED AND MAINTAINED BY HOA.

LOT 53 TO BE PUBLIC OPEN SPACE AND STORMWATER MANAGEMENT TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.

LOT 55 TO BE SHARED PARKING, SHARED ACCESS, STORM SEWER, STORMWATER MANAGEMENT TO BE PRIVATELY OWNED AND MAINTAINED BY HOA.

ALL PROPOSED WATER MAIN AND SANITARY SEWER WILL BE PUBLIC.

MAXIMUM TOTAL DWELLING UNITS SHALL NOT EXCEED 251 FOR THE ENTIRE SITE.

SINGLE FAMILY (153 D.U.) (153 LOTS)

LOTS 114-141 (FRONT AND SIDE LOADED GARAGES) (28 D.U.)

MAXIMUM BUILDING WIDTH: 24 FEET
MAXIMUM GARAGE WIDTH: 22 FEET
MINIMUM FRONT YARD PORCH SETBACK: 15 FEET
MINIMUM MAIN FACADE AND GARAGE SETBACK: 25 FEET
MINIMUM SIDE YARD SETBACKS: 5 FEET
MINIMUM REAR YARD SETBACK: 10 FEET
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM PRIVATE REAR PATIO: 9x12 FEET
MAXIMUM DRIVEWAY WIDTH: 18 FEET
MINIMUM PARKWAY TREES PLANTED: 2 @ 2" CAL

LOTS 91-102 (ALLEY LOADED GARAGES) (12 D.U.)

MAXIMUM BUILDING WIDTH: 24 FEET
MAXIMUM GARAGE WIDTH: 22 FEET
MINIMUM FRONT YARD SETBACK: 10 FEET
MINIMUM SIDE AND REAR YARD SETBACKS: 5 FEET
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM PRIVATE REAR PATIO: 9x12 FEET
MAXIMUM DRIVEWAY WIDTH: 18 FEET
MINIMUM PARKWAY TREES PLANTED: 1 @ 2" CAL
MINIMUM PARKWAY SPACES FROM ALLEY: 2

LOTS 104-112 (ALLEY LOADED GARAGES) (9 D.U.)

MAXIMUM BUILDING WIDTH: 24 FEET
MINIMUM FRONT PORCH SETBACK: 15 FEET
MINIMUM MAIN FACADE AND GARAGE SETBACK: 25 FEET
MINIMUM SIDE YARD SETBACKS: 5 FEET
MINIMUM REAR YARD SETBACK: 20 FEET
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM PRIVATE REAR PATIO: 9x12 FEET
MAXIMUM DRIVEWAY WIDTH: 27 FEET
MAXIMUM GARAGE WIDTH: 22 FEET
PRIVATE UTILITY EASEMENT ALONG REAR PROPERTY LINE: 5 FEET
MINIMUM PARKWAY TREES PLANTED: 2 @ 2" CAL

LOTS 142-148 (FRONT LOADED GARAGES) (7 D.U.)

MAXIMUM BUILDING WIDTH: 24 FEET
MAXIMUM GARAGE WIDTH: 22 FEET
MINIMUM FRONT YARD PORCH SETBACK: 15 FEET
MINIMUM MAIN FACADE AND GARAGE SETBACK: 25 FEET
MINIMUM GARAGE SETBACK FROM FACE OF PORCH: 9 FEET
ONE IN FIVE HOMES IN A GIVEN STREET CAN PLACE GARAGE BETWEEN 9 FOOT SETBACK FROM FACE OF PORCH, UP TO EVEN WITH FRONT PORCH
MINIMUM SIDE YARD SETBACKS: 5 FEET
MINIMUM REAR YARD SETBACK: 10 FEET
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM PRIVATE REAR PATIO: 9x12 FEET
MAXIMUM DRIVEWAY WIDTH: 18 FEET
MINIMUM PARKWAY TREES PLANTED: 2 @ 2" CAL

LOTS 187-217 (SIDE AND FRONT LOADED GARAGES) (31 D.U.)

MAXIMUM BUILDING WIDTH: 24 FEET
MAXIMUM GARAGE WIDTH: 22 FEET
MINIMUM FRONT YARD PORCH SETBACK: 15 FEET
MINIMUM MAIN FACADE AND GARAGE SETBACK: 25 FEET
MINIMUM GARAGE SETBACK FROM FACE OF PORCH: 9 FEET
MINIMUM SIDE YARD SETBACKS: 5 FEET
MINIMUM REAR YARD SETBACK: 10 FEET
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM PRIVATE REAR PATIO: 9x12 FEET
MAXIMUM DRIVEWAY WIDTH: 18 FEET
MINIMUM PARKWAY TREES PLANTED: 2 @ 2" CAL

LOTS 176-186 AND 218-223 (FRONT LOADED GARAGES) (17 D.U.)

MAXIMUM BUILDING WIDTH: 24 FEET
MAXIMUM GARAGE WIDTH: 22 FEET
MINIMUM FRONT YARD PORCH SETBACK: 15 FEET
MINIMUM MAIN FACADE AND GARAGE SETBACK: 25 FEET
MINIMUM GARAGE SETBACK FROM FACE OF PORCH: 9 FEET
ONE IN FIVE HOMES IN A GIVEN STREET CAN PLACE GARAGE BETWEEN 9 FOOT SETBACK FROM FACE OF PORCH, UP TO EVEN WITH FRONT PORCH
MINIMUM SIDE YARD SETBACKS: 5 FEET
MINIMUM REAR YARD SETBACK: 10 FEET
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM PRIVATE REAR PATIO: 9x12 FEET
MAXIMUM DRIVEWAY WIDTH: 18 FEET
MINIMUM PARKWAY TREES PLANTED: 2 @ 2" CAL

LOTS 149-166 AND 168-175 (ALLEY LOADED GARAGES) (26 D.U.)

MAXIMUM BUILDING WIDTH: 24 FEET
MAXIMUM GARAGE WIDTH: 22 FEET
MINIMUM FRONT YARD SETBACK: 10 FEET
MINIMUM SIDE AND REAR YARD SETBACKS: 5 FEET
MINIMUM FRONT PORCH: 9x12 FEET
MINIMUM PRIVATE REAR PATIO: 9x12 FEET
MAXIMUM DRIVEWAY WIDTH: 18 FEET
MINIMUM PARKWAY TREES PLANTED: 1 @ 2" CAL
MINIMUM PARKING SPACES FROM ALLEY: 2

LOTS 63-72, 103, 113 AND 167 (13 D.U.)

CARRIAGE HOMES:
MINIMUM FIRST FLOOR ENCLOSED STORAGE: 6x12 FEET
MAXIMUM BUILDING WIDTH AND DEPTH: 24x30 FEET
MINIMUM MAIN FACADE SETBACK: 10 FEET
MINIMUM SIDE YARD SETBACKS: 5 FEET
MINIMUM REAR YARD SETBACK: 5 FEET
MINIMUM FRONT PORCH OR PATIO: 6x12 FEET
MAXIMUM DRIVEWAY WIDTH: 18 FEET

TINY HOMES:

MAXIMUM BUILDING WIDTH: 16 FEET
MINIMUM FRONT YARD PORCH SETBACK: 10 FEET
MINIMUM MAIN FACADE SETBACK: 15 FEET
MINIMUM SIDE YARD SETBACKS: 5 FEET
MINIMUM PRIVATE REAR PATIO: 9x12 FEET
MINIMUM FRONT PORCH OR PATIO: 6x12 FEET
MINIMUM FIRST FLOOR ENCLOSED STORAGE: 6x12 FEET

LOTS 30-39 (10 D.U.)

COTTAGES:
MAXIMUM BUILDING WIDTH AND DEPTH: 24 FEET
MINIMUM FRONT YARD PORCH SETBACK: 3 FEET
MINIMUM MAIN FACADE SETBACK: 10 FEET
MINIMUM SIDE YARD SETBACKS: 5 FEET
MINIMUM REAR YARD SETBACK: 5 FEET
MINIMUM FRONT PORCH: 6x12 FEET
MAXIMUM DRIVEWAY WIDTH: 18 FEET
MINIMUM SHARED OPEN SPACE: 2,000 SF

CONSERVATION AREA/STORMWATER MANAGEMENT

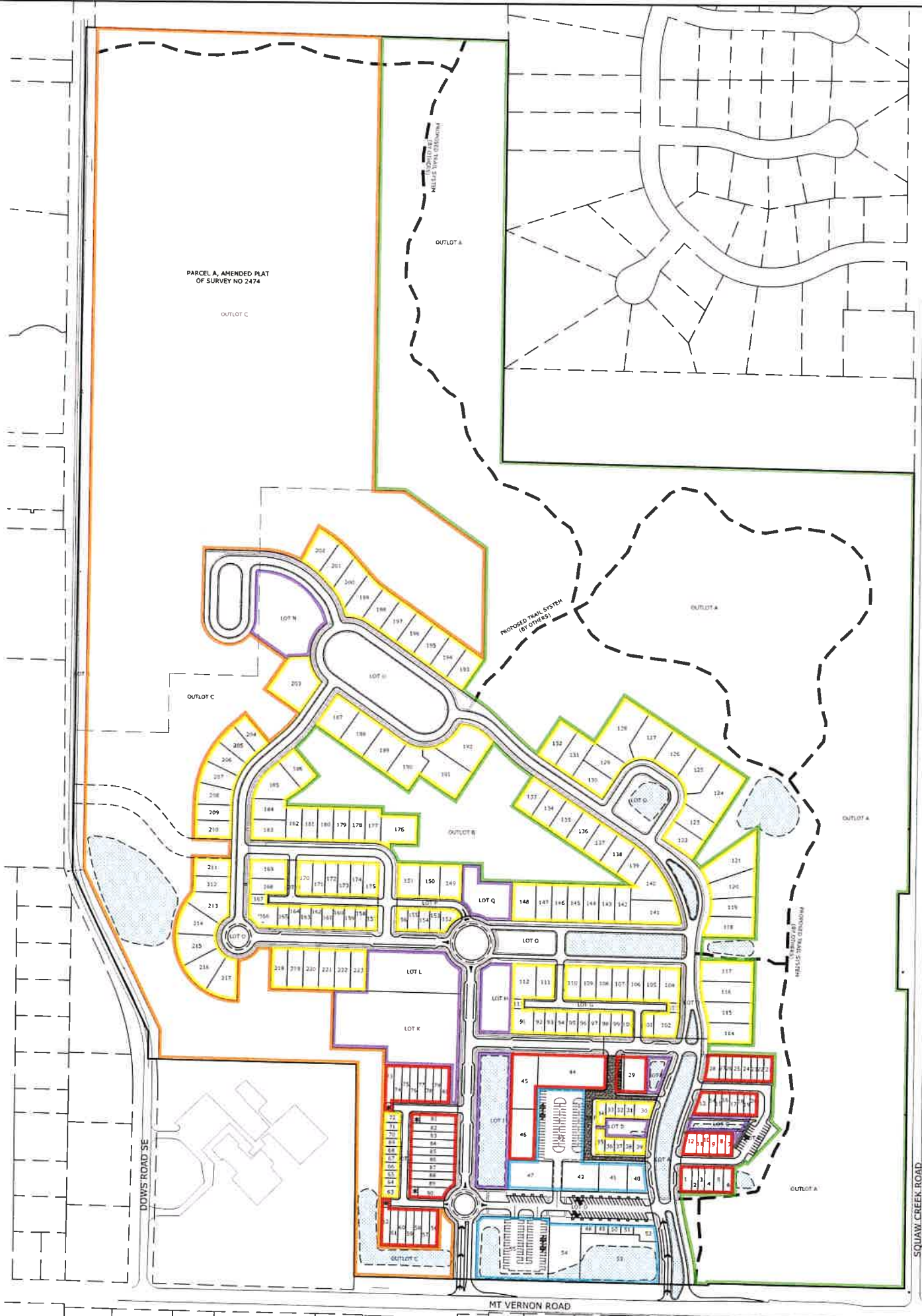
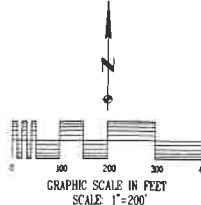
OUTLOTS A AND B (OWNED BY LINN COUNTY AND MAINTAINED BY LINN COUNTY CONSERVATION)

THE FARM/STORMWATER MANAGEMENT

OUTLOT C (MANAGED BY SEPARATE FARM ENTITY)

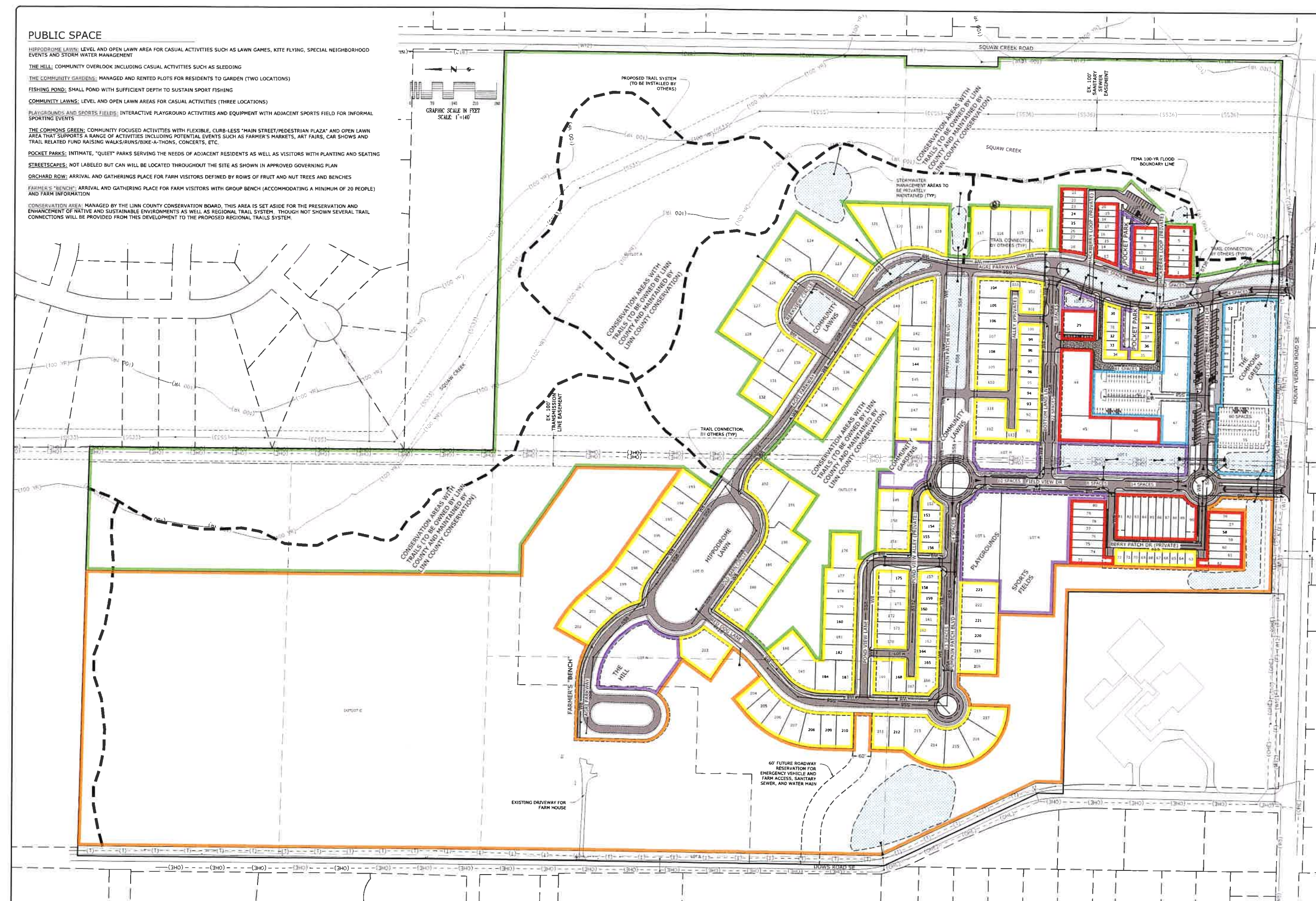
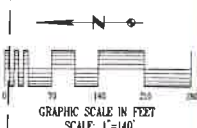
OPEN SPACE/RECREATION

LOTS D, E, H, I, K, L, N AND Q



PUBLIC SPACE

- HIPPODROME LAWN: LEVEL AND OPEN LAWN AREA FOR CASUAL ACTIVITIES SUCH AS LAWN GAMES, KITE FLYING, SPECIAL NEIGHBORHOOD EVENTS AND STORM WATER MANAGEMENT
- THE HILL: COMMUNITY OVERLOOK INCLUDING CASUAL ACTIVITIES SUCH AS SLEDDING
- THE COMMONS GARDENS: MANAGED AND RENTED PLOTS FOR RESIDENTS TO GARDEN (TWO LOCATIONS)
- FISHING POND: SMALL POND WITH SUFFICIENT DEPTH TO SUSTAIN SPORT FISHING
- COMMUNITY LAWNS: LEVEL AND OPEN LAWN AREAS FOR CASUAL ACTIVITIES (THREE LOCATIONS)
- PLAYGROUNDS AND SPORTS FIELDS: INTERACTIVE PLAYGROUND ACTIVITIES AND EQUIPMENT WITH ADJACENT SPORTS FIELD FOR INFORMAL SPORTING EVENTS
- THE COMMONS GREEN: COMMUNITY FOCUSED ACTIVITIES WITH FLEXIBLE, CURB-LESS "MAIN STREET/PEDESTRIAN PLAZA" AND OPEN LAWN AREA THAT SUPPORTS A RANGE OF ACTIVITIES INCLUDING POTENTIAL EVENTS SUCH AS FARMER'S MARKETS, ART FAIRS, CAR SHOWS AND TRAIL RELATED FUND RAISING WALKS/RUNS/BIKE-A-THONS, CONCERTS, ETC.
- POCKET PARKS: INTIMATE, "QUIET" PARKS SERVING THE NEEDS OF ADJACENT RESIDENTS AS WELL AS VISITORS WITH PLANTING AND SEATING
- STREETSCAPES: NOT LABELED BUT CAN WILL BE LOCATED THROUGHOUT THE SITE AS SHOWN IN APPROVED GOVERNING PLAN
- ORCHARD ROW: ARRIVAL AND GATHERINGS PLACE FOR FARM VISITORS DEFINED BY ROWS OF FRUIT AND NUT TREES AND BENCHES
- FARMER'S "BENCH": ARRIVAL AND GATHERING PLACE FOR FARM VISITORS WITH GROUP BENCH (ACCOMMODATING A MINIMUM OF 20 PEOPLE) AND FARM INFORMATION
- CONSERVATION AREA: MANAGED BY THE LINN COUNTY CONSERVATION BOARD, THIS AREA IS SET ASIDE FOR THE PRESERVATION AND ENHANCEMENT OF NATIVE AND SUSTAINABLE ENVIRONMENTS AS WELL AS REGIONAL TRAIL SYSTEM. THOUGH NOT SHOWN SEVERAL TRAIL CONNECTIONS WILL BE PROVIDED FROM THIS DEVELOPMENT TO THE PROPOSED REGIONAL TRAILS SYSTEM.



Revision Description

Revision Number & Scale


HALL & HALL ENGINEERS, INC.
Landmark & Land Development Since 1983
1000 WESTERN BLVD., SUITE 200, DES MOINES, IA 50319
PHONE: (515) 281-8100 FAX: (515) 281-7000
www.halleng.com

PRELIMINARY PLAT
FOR
DOWS FARM AGRICOMMUNITY
IN LINN COUNTY, IOWA

Sheet Title

Designed by:
BDV

Drawn by:
CJZ

Checked by:
BDV

Date:
01/18/2023

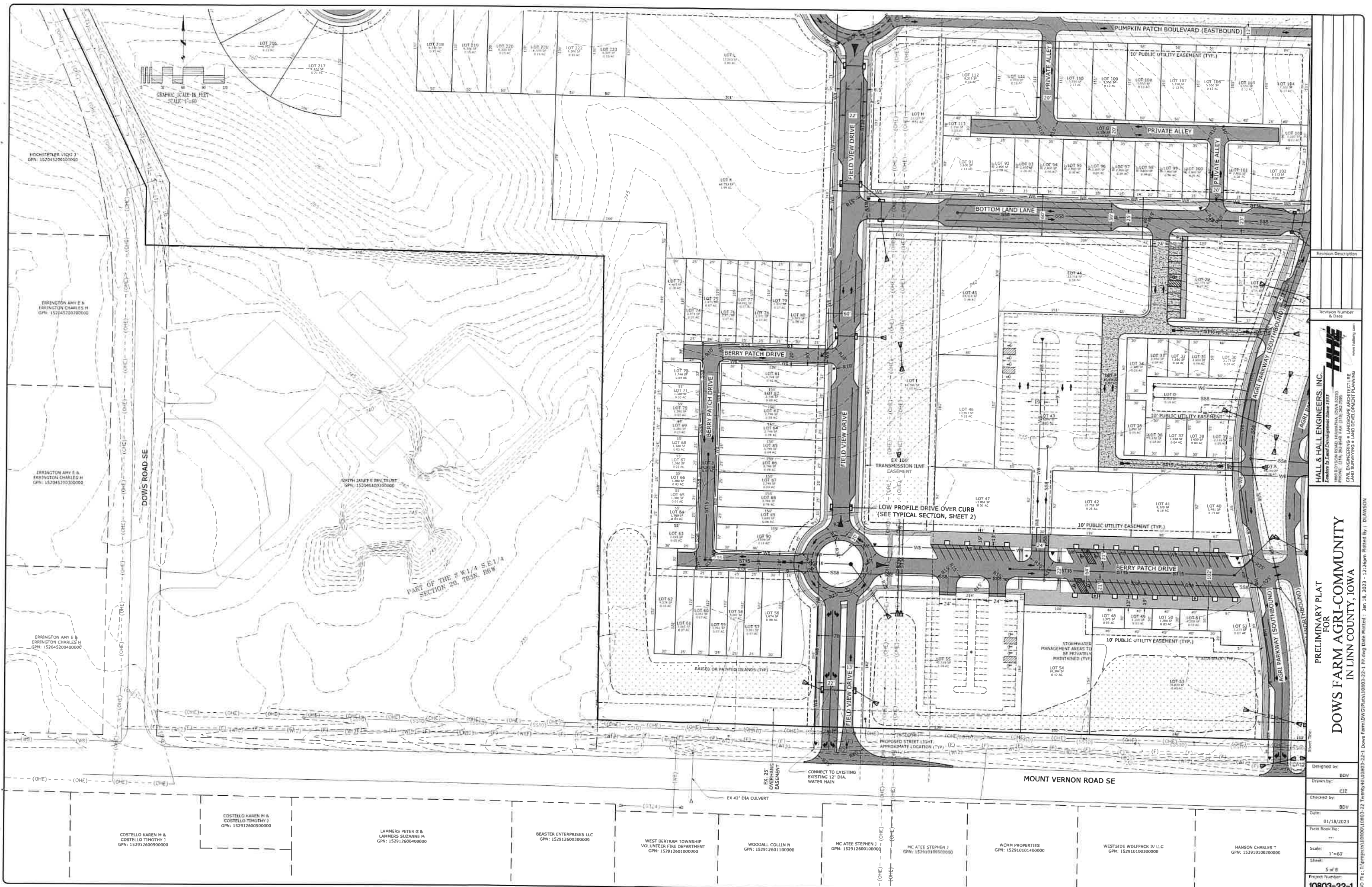
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Scale:
1"=140'

Sheet:
4 of 8

Project Number:
10803-22-1

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PRELIMINARY PLAT
FOR
DOW'S FARM AGRI-COMMUNITY
IN LINN COUNTY, IOWA

HALL & HALL ENGINEERS, INC.
Engineers in Land Development Since 1953
 1600 BUTTERN ROAD, INDIANAPOLIS, IN 46223
 PHONE: (317) 362-8848 FAX: (317) 362-1595

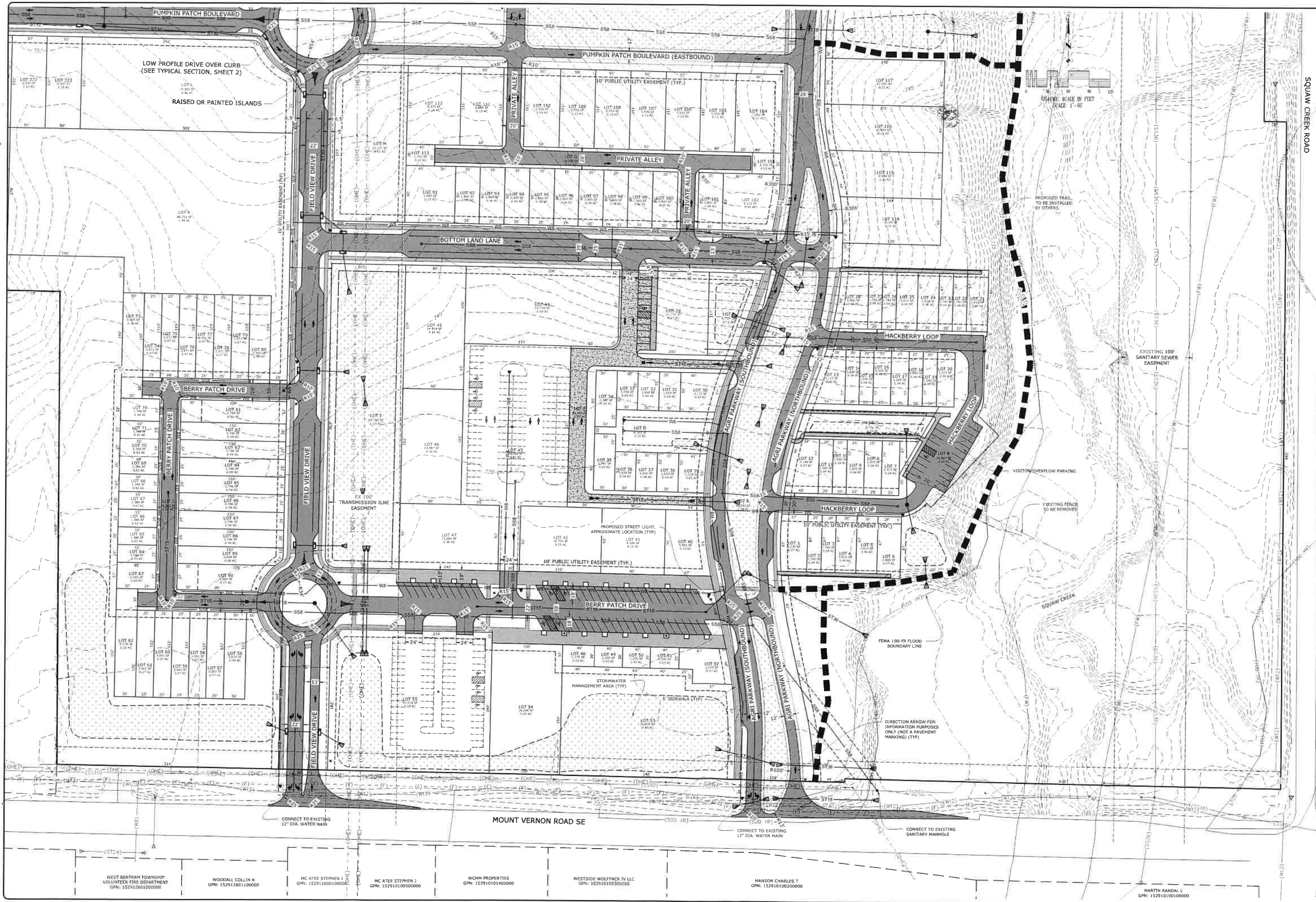
HHE

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
 LAND SURVEYING • LAND DEVELOPMENT PLANNING

www.halleng.com

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Designed by:	BDV
Drawn by:	CIE
Checked by:	BDV
Date:	01/18/2023
Field Book No:	
Scale:	1"=60'
Sheet:	5 of 8
Project Number:	10803-22-1



Revised Description

Revision Number & Date

H&H
HALL & HALL ENGINEERS, INC.
Landscape Architecture
1000 E. 10th Street, Suite 100
Iowa City, IA 52240
www.hallandhall.com

PRELIMINARY PLAT
FOR
DOWS FARM AGRICOMMUNITY
IN LINN COUNTY, IOWA

Sheet Title:

Designed by:
BDV

Drawn by:
CJC

Checked by:
BDV

Date:
01/18/2023

Field Book No.:

Scale:
1"=60'

Sheet:
6 of 8

Project Number:
10803-22-1

WEST BERTHAM TOWNSHIP
VOLUNTEER FIRE DEPARTMENT
GPN: 152912601000000

WOODALL COLLIN W
GPN: 152912601100000

MC ATTEE STEPHEN J
GPN: 152912601000000

MC ATTEE STEPHEN J
GPN: 152910100500000

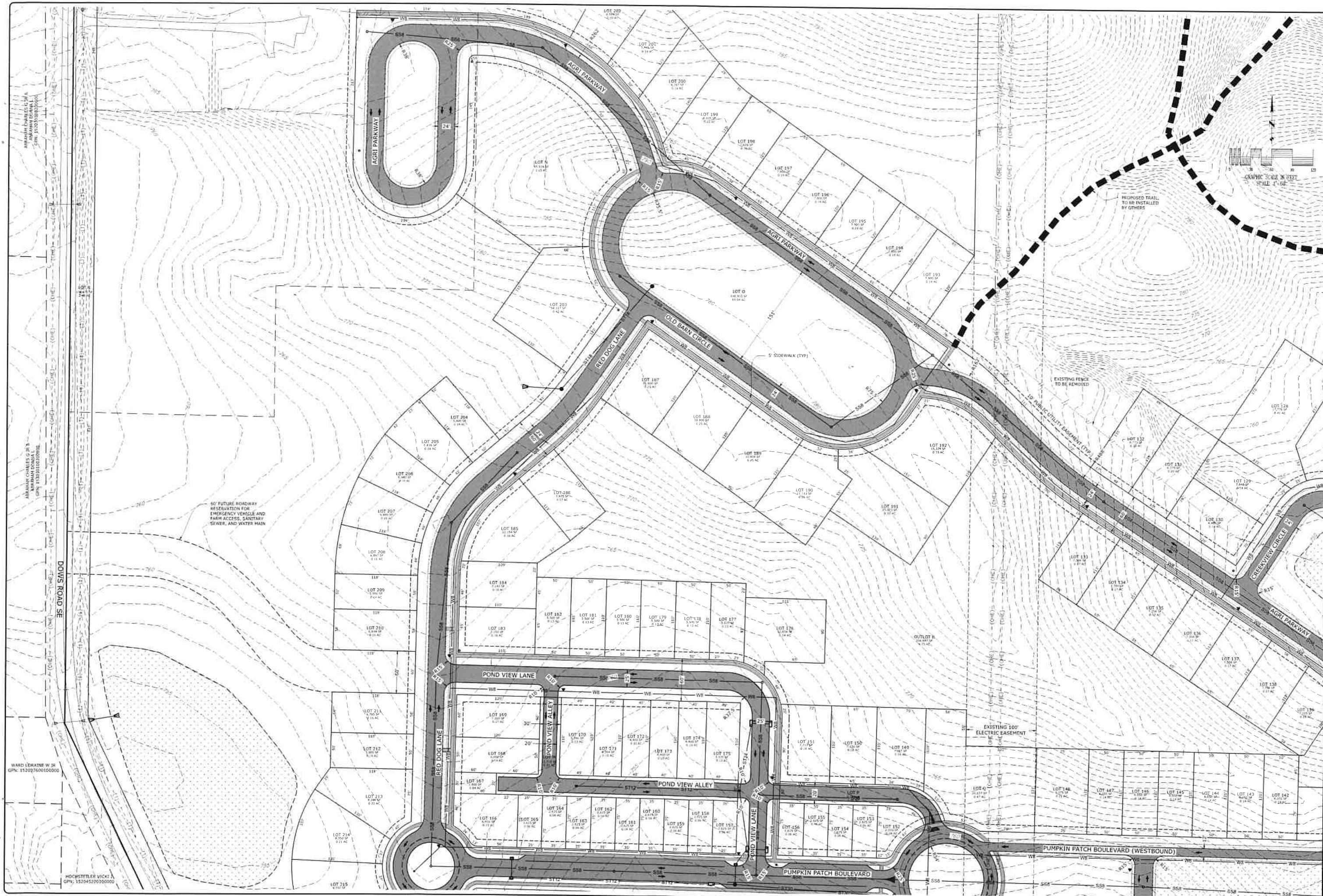
WCHM PROPERTIES
GPN: 152910101400000

WESTSIDE WOLFPACK IV LLC
GPN: 152910100300000

HANSON CHARLES T
GPN: 152910100200000

MARTIN RANDAL L
GPN: 152910100100000

CAD FILE: I:\projects\10803-22-1 Dows Farm\DWG\Plats\10803-22-1 Pl.dwg Date Plotted: 1 Jan 18, 2023 - 12:27pm Plotted By: OLAWSON



Revision	Description
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Revision Number & Date

HALL & HALL ENGINEERS, INC.
Leaders in Land Development Since 1953
 1840 BOYDSON ROAD, HAVATHIA, OHIO 43131
 PHONE: (310) 342-3541 FAX: (310) 362-1306
HHE
 CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
 LAND SURVEYING • LAND DEVELOPMENT PLANNING
 www.halleng.com

PRELIMINARY PLAT
FOR
DOW'S FARM AGRI-COMMUNITY
IN LINN COUNTY, IOWA

Designed by:	BDV
Drawn by:	CJZ
Checked by:	BDV
Date:	01/18/2023
Field Book No:	
Scale:	1"=60'
Sheet:	7 of 8
Project Number:	10803-22-1

LINN COUNTY HUMAN RESOURCES DEPARTMENT
JEAN OXLEY LINN COUNTY PUBLIC SERVICE CENTER
935 2ND ST. SW
CEDAR RAPIDS, IA 52404
PH: 319-892-5120 | FAX: 319-892-5129

LinnCountyIowa.gov



VACANCY FORM

SELECT ONE:

☐ NEW POSITION

☒ REPLACEMENT

REPLACES: Clifford Crimmins

SELECT ONE:

☒ NEW JOB CLASSIFICATION

☐ EXISTING JOB CLASSIFICATION

JOB TITLE: Accounting Manager

DEPARTMENT: Auditor

SHIFT/HOURS: M-F 8-5

NUMBER OF POSITIONS: 1.0

VACANCY DATE: 9-30-2022

NEW POSITION FUNDING SOURCE(S):

Exchange for vacant Deputy Auditor - Tax Manager.

REASON TO ADD NEW POSITION (if applicable): ☐ BUDGET OFFER

☐ GRANT FUNDING

☒ OTHER: Trade for existing budgeted position

DURATION OF POSTING (must remain open a minimum of 10 days): _____

POSITION TYPE:

☒ FULL-TIME ☐ PART-TIME _____ # of hours/week ☐ TEMPORARY/SEASONAL

☐ ON-CALL/SUBSTITUTE ☐ GRANT-FUNDED

BARGAINING UNIT: ☐ Clerical ☐ Maintenance ☐ Para Professional ☐ Professional

☐ Attorneys ☐ Conservation ☐ Sergeants ☐ PPME

☒ NON-BARGAINING UNIT (Management and Confidential Employees)

APPROVED BY: _____

DEPARTMENT HEAD

1/24/2023

DATE

By signing above, I acknowledge my understanding of the following about external job postings: Failure to make a good faith effort to begin the interview process within one month of receiving candidates' applications will result in HR charging the cost of advertising back to the department.

FOR HUMAN RESOURCES DEPARTMENT USE ONLY:

PAY GRADE: _____ STARTING SALARY: _____

HR DIRECTOR COMMENTS: HR has worked with the Auditor Office to develop this management position as a replacement for a bargaining unit when a deputy position.

FINANCE/BUDGET DIRECTOR COMMENTS: _____

APPROVED BY: Lisa D. Powell

HUMAN RESOURCES DIRECTOR

1-30-23

DATE

APPROVED BY: Shannon

FINANCE/BUDGET DIRECTOR

1/31/23

DATE

APPROVED BY: _____

CHAIRPERSON/BOARD OF SUPERVISORS

DATE

RESOLUTION

**A RESOLUTION APPROVING COMPENSATION FOR
ATTORNEYS APPOINTED BY THE DISTRICT COURT**

WHEREAS, the Code of Iowa sets terms and conditions under which the District Court appoints attorneys at county expense, and

WHEREAS, the Board of Supervisors, Linn County, Iowa, is authorized to establish an hourly rate by which attorneys appointed by the District Court at county expense are to be compensated, and

WHEREAS, compensation of attorneys appointed by the District Court at county expense is to be in substantially the same manner as provided for public defenders pursuant to Iowa Code 815.7.

WHEREAS, the Iowa Legislature recently amended Iowa Code section 815.7, increasing compensation made on or after July 1, 2022.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the Board of Supervisors, Linn County, Iowa, this date met in lawful session, that the hourly rate for compensation of attorneys appointed by the District Court at county expense shall be fixed at \$68.00 per hour for such hours as are verified by the attorney and approved by the District Court for payment.

PASSED AND APPROVED this ____ day of February, 2023.

LINN COUNTY BOARD OF SUPERVISORS

Louis Zumbach, Chair

Kirsten Running-Marquardt, Supervisor

Ben Rogers, Vice Chair.

ATTEST:

Joel Miller, Linn County Auditor

I, Joel Miller, Linn County Auditor, certify that at a regular meeting of the Linn County Board of Supervisors duly adopted the foregoing resolution by a vote of

_____ Aye _____ Nay _____ Abstain _____ Absent from voting

Joel Miller, Linn County Auditor